



The Estates Owner's Guidelines



Architectural, Environmental and Landscape Guidelines



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THESE GUIDELINES AND THE RULES AND REGULATIONS HEREIN ARE SUBJECT TO REVISION AND INTERPRETATION FROM TIME TO TIME BY THE ARB, AND ARE INTENDED MERELY TO ESTABLISH GENERALLY THE ARCHITECTURAL, ENVIRONMENTAL, AND LANDSCAPING STANDARDS THAT WILL GOVERN THE CHARACTER OF THE DEVELOPMENT. THE MOST CURRENT VERSION OF THESE GUIDELINES SHALL BE AVAILABLE FOR REVIEW AT ALL REASONABLE TIMES AT THE OFFICES OF THE HOMEOWNERS' ASSOCIATION, AND COPIES THEREOF SHALL BE DELIVERED TO ANY HOMEOWNER UPON REQUEST.



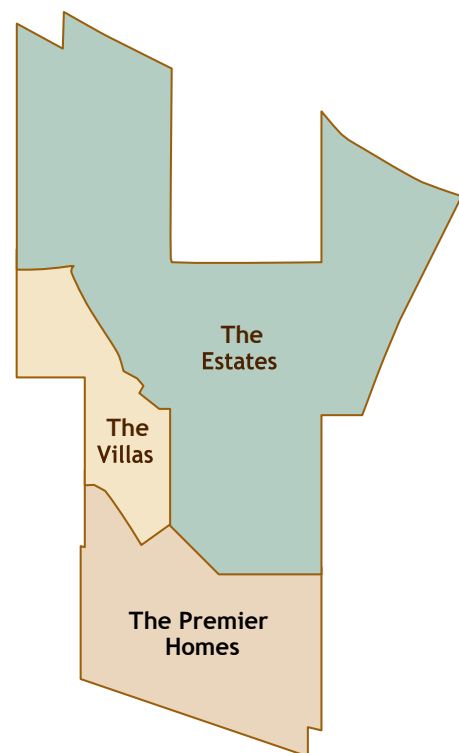
Overview

The Sanctuary of Bull Valley is a 300-acre planned development that brings together the principles of traditional and environmental design to create a unique community.

The master plan provides for three distinct housing communities:

- a. The Estates
- b. The Villas
- c. The Premier Homes

All streets and roads are public right-of-ways and maintained by the City of Woodstock. Sewer and water are also provided by the city. Individual wells and septic tanks are not permitted.



Homeowners Associations

The Sanctuary of Bull Valley is a remarkable environment. The natural features of the site, the protection of groundwater resources, and the proximity to the Boone Creek Nature Preserve are of utmost importance. Owners are part of a thriving community and stewards of this diverse landscape. Therefore, architectural, environmental, and landscape guidelines have been established through its Covenants, Conditions, and Restrictions (CCRs) Bylaws to ensure that the area is carefully protected for years to come.

Each community has distinctive types of housing and a Homeowners Association. The three Homeowners Associations are regulated by The Sanctuary of Bull Valley Master Operating Association, Inc. (the Association), a not-for-profit association. The Association will oversee, manage, and maintain common properties and Deed Restricted Open Space (DROS); protect the natural resources; and ensure the integrity of the community. The Association will establish and monitor architectural, environmental, and landscape guidelines through its appointed Architectural Review Board (ARB). The Association has adopted minimum standards for the development of The Villas and The Premier Home Areas.

The guidelines set forth on the following pages incorporate the highest quality architectural, environmental, and landscape standards for **The Estates**. The purpose of these guidelines is to ensure quality housing and appropriately sited residences that integrate into the landscape, protect natural resources, and provide for open vistas.



Preparing for an Environmentally Progressive Community

As an ecologically sensitive area, The Sanctuary of Bull Valley required a number of innovative actions to prepare for residents. For example, to establish building footprints, the developers had to minimize direct and indirect negative impacts to natural surroundings as well as plant and animal habitats. Great efforts were made to limit the grading, hydrological change, erosion or sedimentation impacts, debris or fill impacts, tree removal, damming or obstruction and channeling, dredging, and deepening of drainage ways, wetlands, or other water features. Finally, after all the environmental issues were addressed, aesthetics were taken into consideration so home sites blend into the surrounding areas.

A priority of the development was to undertake the restoration of the region's natural ecological systems, which include oak savannas, prairies, and forests. Biofilters of native grasses were planted along the roadways and in the swales to reduce the amount of road salt and other pollutants entering into the groundwater recharge areas. Wetlands or biofilter basins were also enhanced with native vegetation to improve water quality.

This vital restoration work is ongoing and will be part of the future of the community. The Association annual dues include specific line items for restoration, maintenance, monitoring, and management of all natural resources within The Sanctuary of Bull Valley. Additional fees will be assessed as necessary to ensure that the restoration, management, and monitoring programs have adequate and appropriate funding levels for successful implementation and long-term maintenance.

Architectural Standards

Application and Approval

The Sanctuary of Bull Valley Architectural Review Board (ARB) will work closely with homeowners and their approved architects, builders, and subcontractors to make sure these guidelines are understood, maintained, and enforced.

A review and processing fee must accompany the Preliminary Design Application and Checklist for consideration by the ARB. A procedure for filing and a copy of the application are available via this link ([Filing Procedures](#)).

A licensed architect must prepare all architectural plans, and it is highly recommended that a licensed landscape architect prepares all landscape plans. A licensed surveyor or professional engineer must submit a grading plan and permit plan. When applicable, a tree survey and a tree preservation plan will be required.



Building standards must meet the current building code of the City of Woodstock, Illinois. However, the city, through an annexation agreement, enforces the more stringent construction and architectural standards described in these guidelines and will not issue a building permit without the approval of the ARB.

Before an application can be made to the City of Woodstock for a building permit, the following materials must be reviewed and approved in writing by the ARB.

- Architectural drawings
- Construction documents
- Material selections and colors
- Landscape plan
- Grading plan (including impervious surface calculations)
- Tree preservation plan, if applicable
- Soil and erosion control plan

For the protection of owners and to ensure the quality of construction, a list of qualified builders is available. Other builders may apply to work in The Sanctuary by submitting their qualifications using the form available via this link [Builder Approval Form](#). They must understand and follow all construction standards in these guidelines: [Construction Standards](#). The builder is responsible for all subcontractors and vendors as well as the cleanliness of the site. Before approval of any plans, the ARB or its representative must meet with the builder and owner and conduct a site visit. This is to ensure that all rules, regulations, and responsibilities are clearly understood. A site deposit is required before construction begins.

Design

The architecture of the homes within The Estates should be dictated by and designed around the natural characteristics of the home site. The architectural profile and components, materials, building shape, streetscape appearance, and



integration into the landscape are critical to the success of the community as a whole. To protect the values, the Architectural Review Board has set minimum requirements.

Size and Standards

Minimum home sizes are determined by the guidelines. Square footage is defined and calculated as habitable space and does not include basements or garages. A summary for The Estates area is shown in Table 1.

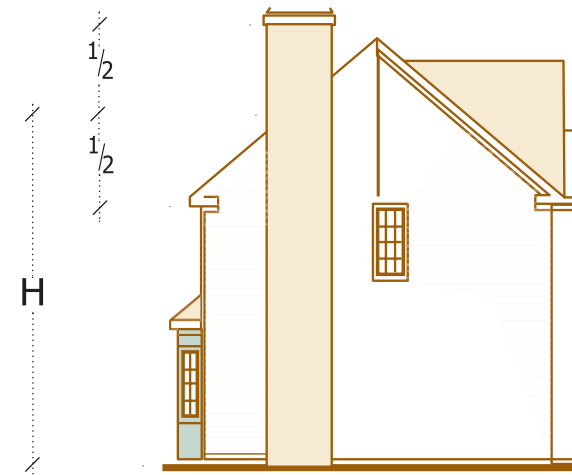
Maximum Building Size and Setbacks

The minimum floor area ratio (FAR), lot coverage, building heights and setbacks, easements, and Deed-Restricted Open Space (DROS) are defined per the City of Woodstock and the final plat. In keeping with the sensitivity to groundwater recharge, The Estates area is limited to 15 percent impervious surface coverage, which includes all roads, drives, walks, footprints of homes, etc. As a result, brick pavers, decks, and other types of pervious surfaces are encouraged rather than concrete or asphalt. In some cases, pervious materials may be required.

Table 1. The Estates Lot and House Standards

Area	Minimum Lot Size (SF)	Minimum House Size (SF)		Minimum Setback* (ft.)			Maximum Height
		1 Story	1-1/2 or 2 Story	Front yard	Side yard/Total	Rear	
The Estates	30,000	2400	2800	50	15/30	50	35

*Rear and side yard setbacks may be determined by DROS.



Building heights are measured from ground level to one-half of the total roof height. The picture is for illustrative purposes only. The City of Woodstock zoning ordinance governs in all cases.

Figure 1. Measurements to determine building height

Building Heights

Building heights are measured from ground level to one-half of the total roof height (Figure 1).



Architectural Styles

The overall style of home, whether it is Prairie, French Country, Colonial, Tudor, Craftsman, Georgian, or other, must conform to acceptable materials and have appropriate detailing appropriate for the design. The size and shape of the home should reflect the surrounding natural landscape. Log homes, geo-domes, and similar structures are not allowed.

All design approvals are at the sole discretion of the ARB. Contemporary designs are discouraged but unique designs may be considered if they are sensitive to the landscape, conform to the surrounding architecture, and use appropriate materials.

Basements

Walkout, garden, or English basements are encouraged when existing topography warrants. The design should take

into consideration proper drainage, slope stabilization, existing trees, and continuity of architectural style. Concrete retaining walls attached to the basement must be faced with cedar, masonry, stone, stucco, exterior finished insulated systems (EIFS), or other materials approved by the ARB.

Garages

Garages must be side-load or front side-load and attached with a common roofline. Garage doors should not directly face the street. Exceptions for a single tandem front loaded, or angled garage set off from the double side-load may be considered, depending on site constraints and architectural design. See Figure 2.



Figure 2. Sample garage configuration

A minimum two-car garage is required. More than four-car garages require special consideration.

Porte-cochère or rear-load garages with breezeways are acceptable if common rooflines are incorporated and attached to the main residence.

Special consideration should be given to the design and trim of garage doors to make sure the treatment is consistent

with the architecture. All garage doors can be single bays with minimum nine-foot wide by eight-foot high bays and individual doors operated by single door openers or a double bay. The doors must be section, panel-type, or of similar quality and character approved by the ARB.

Roof and Vents

All roofs must be cedar shake or, slate or architectural dimensional shingles. Other materials with similar characteristics may be approved by the ARB. Contact the ARB for a list of approved colors and manufacturers. Copper or non-corrosive metal is required for all flashing, bays, bow windows, valleys, and saddles. All-metal roofs are not allowed.

Roof vents, including attic vents, must be continuous. Attic vent boxes are not allowed. Other forms of venting may be permitted, depending on the aesthetics and architectural style. All vent penetrations, including attic fans, must be on the rear or side of the home and not visible from the street.

Minimum roof pitches are 8/12. The ARB may make exceptions to accommodate certain architectural styles such as Prairie or Craftsman.

Flashing

Galvanized flashing is not permitted. All metal flashing must be copper or non-corrosive metal.

Plumbing Vents

Lead flashing must be used for all plumbing vents, except direct vent HVAC penetrations. All venting is to be the rear or side of the home and not visible from the street.

Exterior Finishes

All exterior finishes and color schemes must be approved by the ARB. Continuation of materials is required to extend to a returned corner (change in foundation). Aluminum, vinyl,



Figure 3. Sample chimney configuration

composite board, or equivalent siding, fascia, or soffit materials are not permitted. Log siding is not allowed.

The following materials are permitted:

- Brick face providing structural or bearing capacity
- Natural or cut stone
- Stucco, Grail Coat, EIFS, or equivalent up to 50 percent of the exterior face as an accent to the architectural style
- Cedar, redwood, and/or cypress shake and beveled siding
- Cement siding (Hardi-Board or equivalent)
- Other materials approved by the ARB

Chimneys

At least one exterior or interior stone, EIFS, or brick chimney is required for each home. Cedar boxed chimneys are not allowed.

All chimney or flue penetrations through the roof should be masonry, stone, or EIFS. Galvanized flues are not allowed. Consideration should be given to decorative flues that are in keeping with the architectural style of the home. (See Figure 3.)

All flues must be clay flues or equivalent. All furnace venting should be through masonry flues, unless direct-vented to the outside. All direct vent fireplaces must be to the side or rear face of the home and must conform to the City of Woodstock's building code.

Doors, Windows, and Shutters

French or swing-style doors are encouraged. Sliding doors are suggested only on the rear elevation.

Window properties should be consistent with the architectural style. All-vinyl or jalousie windows are not allowed. Window muttons or dividers should be consistent to the architectural style and are required on all elevations, if used.

Screens should be dark gray fiberglass, aluminum, or copper.

Bay and bow window elevations must have all-copper roofs, non-corrosive metal, or other material approved by the ARB.

Shutter design should reflect the architecture and be proportioned to fit the windows. All shutters should be cedar or equivalent or as approved by the ARB.

Gutters and Downspouts

Gutters and downspouts should be aluminum or copper in configurations consistent with the architecture.

Additions

House additions are allowed within the building pad. All additions must be approved by the ARB and submitted in accordance with the required application. Additions may be limited due to impervious surface calculations.



Site Standards and Amenities

Easements

Easements identified in the final plat are for utility, drainage, or maintenance. A perpetual easement is also provided over all DROS and common property areas for monitoring and maintenance. Access by the City of Woodstock, the Association, the ARB, or its contractors to maintain, repair, replace, or improve is allowed at any time without notice. Paving, plantings, walks, patios, and irrigation lines are discouraged in all public utility easements and not allowed in any DROS areas. The City of Woodstock, the Association, the ARB, and its contractors are not responsible for any repair or replacement of plantings, paving, walks, patios, underground utilities, or irrigation systems as a result of their actions.

Exterior Lighting

One coach light is required at each driveway entrance. The design and standard for all coach lights will be determined by the ARB. Coach lights are to be set seven feet (7') from the property line at the location indicated on the final grading plan.

Exterior lighting should take into consideration the ambiance of The Sanctuary. Down lighting, which provides minimal glare and spillage into neighboring lots, is suggested. Seasonal lighting is allowed. Seasonal lighting should not be displayed any sooner than 45 days before the holiday and must be removed by fourteen days after the holiday.

Exterior Stairs and Railings

Exterior stairs and railings must be consistent with the approved architectural plan. All materials used in the construction of stairs and railings must be noncorrosive and in keeping with the architectural style of the home.

Fences

Outdoor perimeter or lot fencing is not allowed. Fencing for protection of in-ground pools must meet the requirements of the City of Woodstock's ordinances. Any fencing approved by the ARB must be contained to the pool deck areas and landscaped as required. Solid fencing and screens are not permitted around pools.

All dog runs should be attached to the house. Dog run design, fencing, and materials must be consistent with the materials used on the house. Vinyl or chain-link fencing is not allowed. Additional landscaping may be required.

Invisible dog fencing is encouraged but must not extend into the DROS areas. Care and consideration must be given to trenching within the wooded areas so as not to harm existing trees.

Grading

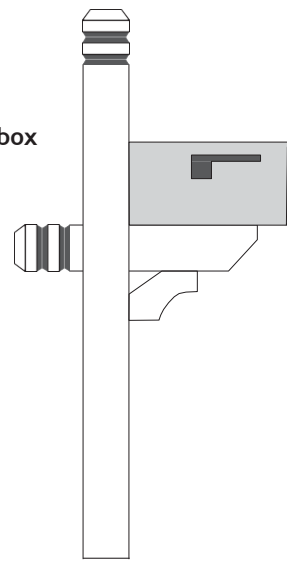
Depending on the characteristics of the lot, minimal grading is allowed within the designated building areas. Excess dirt must be removed from the site. Berming is not allowed in the wooded areas, but may be permitted in open areas if approved as part of the overall grading and landscape plan.

Special grading and protection is required for wooded lots. See "Construction in Wooded Areas" (page 17).

Greenhouses or Conservatories

Greenhouses or conservatories are allowed as part of the approved architectural plan. They must be attached to the home and compatible with the architectural style of the home.

Figure 4. Sample mailbox



Mailboxes

Mailboxes must have the same style, color, and numbering. Before occupancy, the Association will provide and install single or double (shared) mailboxes, in locations approved by the USPS. The cost of the installed mailbox is the responsibility of the lot owner.

Mechanical and Trash Storage

All recyclables and trash storage must be kept inside garages and left outside only on the night before pickup. The homeowner is responsible for cleanup of any blowing debris or animal disturbance.

Screening on air conditioners must be carefully considered and not be visible from the road. No air conditioners are allowed in the front yard.

Outdoor Storage

All detached accessory buildings or structures require ARB approval. Recreational vehicles, boats, limos, unregistered vehicles, trailers, etc., must not be stored or parked outside for more than 24 hours. All vehicles or mechanical equipment must be garaged. No more than two (2) registered vehicles can be parked in driveways at any one time unless otherwise approved by the ARB. Firewood must be stacked in the sides or rear yards, but in no case will storage of any kind be allowed within the DROS areas.

Outdoor Structures

Pergolas and/or ornamental structures like trellises, gazebos, etc., must be presented as part of the overall master landscape plan and are subject to approval by the ARB. No attached or freestanding structure, patio, deck, or hardscape surface is permitted in the DROS.

Recreational Facilities

Above-ground pools are not permitted. Swimming pools, spas, and hot tubs are subject to the approval of the ARB and must meet the minimum standards of the City of Woodstock.

All pool equipment must be housed in an outdoor pool house that is architecturally compatible with the home or in a location not visible from the street and properly screened as approved by the ARB.

Indoor pools or in-ground pools with glass enclosures will be considered if the enclosure is consistent with the architecture of the home or a traditional glass conservatory.

Basketball hoops, trampolines, golf and volleyball nets, batting cages, and other types of recreational equipment (permanent or temporary) require ARB approval depending on the size and intended location.

All play structures must be approved by the ARB and properly landscaped and screened. Tree houses and forts are allowed if approved as part of a play structure. Skate ramps are not allowed.

Tennis courts or paddle courts are allowed if compatible with the natural grade, located within the buildable area of the lot, and approved by the ARB. Additional landscaping and screening may be required. Outdoor lighting for this type of use is prohibited.

Other standards may be required by the ARB, including additional landscaping or other measures to protect the views or to accommodate the natural landscape.

Flags

Flags may be hung from individual houses. Flagpoles are not allowed.

Satellite and Television Antennas

Satellite dishes larger than 24 inches are not allowed. Small dishes are permitted if they are not visible from the front of the house. TV antennas must be placed in the attic, not on the roof.

Setbacks

Unless determined by the DROS or plat, the minimum front and rear yard setbacks are 50 feet. Rear setbacks are a minimum of 50 feet, but are determined by DROS in most cases. A total side yard setback is 30 feet, with a minimum of 15 feet on each side. Driveways or parking areas are allowed within side yard setbacks, but not in DROS areas.

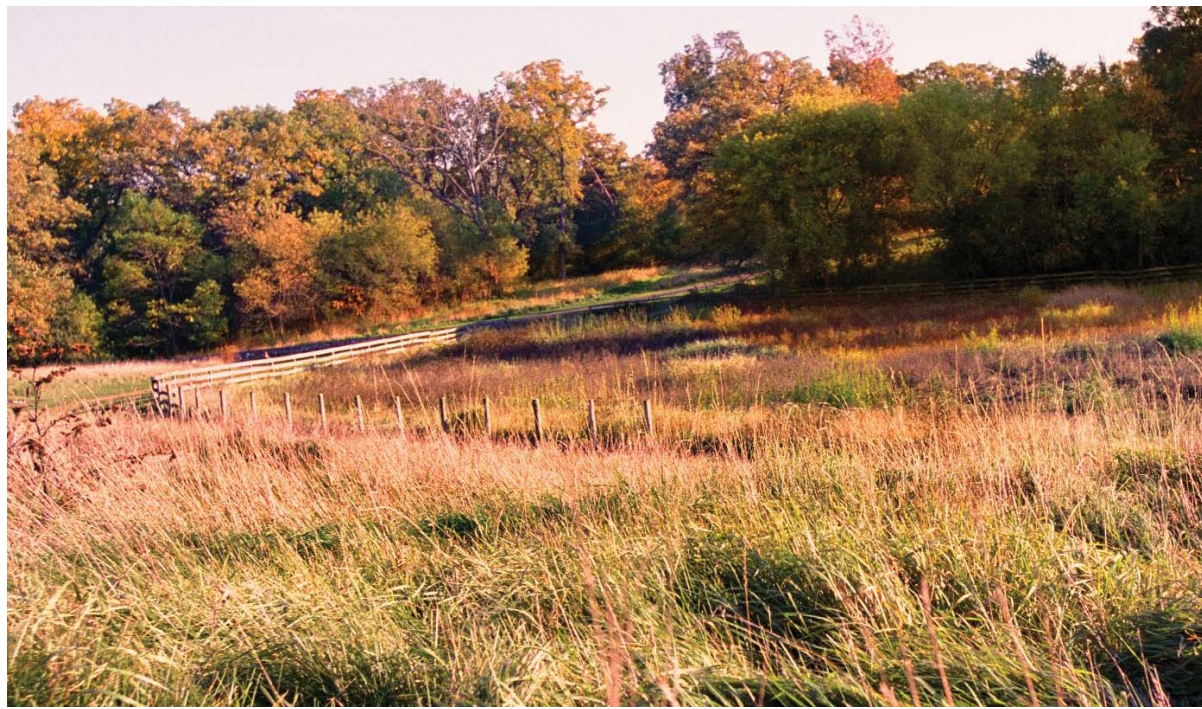
Signs

Only one, two-foot by three-foot, approved real estate sign is permitted on each lot. During construction, one additional two-foot by three-foot sign may be placed to identify the builder, lender, or owner, and to post required building permits. All real estate and construction signs must conform to Association specifications, which are available from the ARB. Temporary garage sale signs, open house signs, etc., are allowed, but must be removed each night and not be present for more than four consecutive days. All signs that do not meet the standards will be removed at the expense of the owner or agent. See [Amended Sign Standards](#).

Environmental Standards

The Sanctuary of Bull Valley has an innovative environmental plan that was developed in conjunction with ecologists, foresters, landscape architects, and engineers, with input from the City of Woodstock, McHenry County Soil & Water Conservation District, Illinois Nature Preserve Commission, Illinois Department of Natural Resources, United States Department of Agriculture, and Illinois Geological and Water Survey. The plan balances and promotes best management practices and conservation concepts that incorporate the following principles:

- Establish common properties (open space) and Deed-Restricted Open Space to protect natural areas
- No mass grading
- Eliminate curbs and gutters on the roads and develop open grass swales to promote filtration of groundwater, improve the quality of runoff, and protect environmentally sensitive areas such as wetlands and kettles
- Maintain and enhance existing vegetation, fencerows, and vegetated areas
- Re-establish forests, savannas, and prairies; and provide for other vegetative cover to create buffers, control erosion, handle storm water runoff, ensure the quality of water, and protect wildlife habitats
- Educate and provide for strict limitations on the type, quantity, and use of fertilizers and pesticides as well as mowing and management practices that promote hydrologic stability and water quality
- Minimize impervious areas to improve filtration that promotes groundwater recharge
- Establish long-term maintenance and monitoring programs, funded by the Association, to promote native species and control exotic or invasive plants
- Encourage natural filtration of storm water into biofilter basins, complemented with native wetland and prairie species
- Encourage runoff from roofs and sump pumps overland to conservation areas rather than storm water facilities
- Encourage minimal lawn areas and maximized “naturalized” landscaping that includes little or no mowable grasses



Deed-Restricted Open Space

The Association and owners of lots containing deed-restricted open space (DROS) as shown in the final plat are responsible for maintaining these areas, as well as any dedicated open space areas, in their natural, undisturbed condition in accordance with the following guidelines:

- No man-made structure of any kind may be built within the DROS. Grading is not permitted, except as identified in the final plat, engineering plans, and specifications approved by the Association or the City of Woodstock.
- All natural vegetation or re-established forest, meadow, or prairie areas within the DROS must be preserved and maintained.
- No areas within the DROS or dedicated open spaces may be sodded, mowed, cultivated, sprayed, or in any way disturbed without following the required procedures and maintenance practices in this booklet and in the final plat, engineering, and landscaping plans.
- No grazing or domestic animals or disturbance or change in the habitat are allowed unless in accordance with these guidelines and applicable local, state, and federal agencies.
- No manipulation or alteration is permitted of natural watercourses, bodies of water, wetlands, or uses that are detrimental to the water quality within the DROS or common areas except to comply with local, state, or federal agencies.
- No operation of snowmobiles, motorcycles, dune buggies, four-wheel drive vehicles, or any recreational motorized vehicles is permitted within the DROS or common areas.
- Filling, dredging, mining, or drilling and the removal of topsoil, sand, gravel, rock, minerals, or other materials are strictly prohibited within the DROS and

common areas, except pursuant to the final engineering or management plan approved by the ARB.

- Removal of invasive plants, such as European buckthorn, garlic mustard, Canada thistle, purple loosestrife, multi-flora rose, reed canary grass, honeysuckle, and Siberian elm are permitted, encouraged, and may be required as part of ecological restoration programs by local, state, and federal agencies or local laws and ordinances that may be included in the Invasive Species Act.



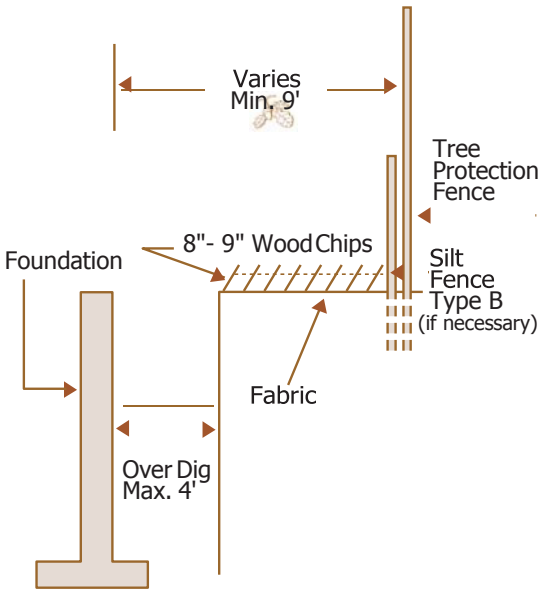
- All native tree saplings, shrubs, wildflowers, bulbs, and other indigenous vegetation must not be removed unless identified by the Association’s ecological restoration and maintenance plan or the final engineering plans and specifications adopted by the Association and the City of Woodstock.
- Natural vegetation must be maintained or replanted whenever possible. No exotic species should be introduced into the DROS.
- When applicable, homes should be designed and located to preserve to the greatest extent possible mature trees and their critical root zones that lie within the buildable area.

- Grading, driveways, antennas, decks, patios, retaining walls, or any man-made structures may not encroach on any DROS or common areas unless part of the final, approved engineering plans and specifications. Neither vehicles nor materials may be stored within DROS or common areas.
- The dumping of grass clippings is not allowed within the DROS.

During construction, work on lots that have DROS or are adjacent to dedicated open space must follow strict standards, including the erection and maintenance of approved temporary fencing to protect trees or open prairies. Before approval of any plans, all fencing must be in place and inspected by the ARB. Heavy plastic mesh fencing, hardy snow fencing, and erosion control fencing may be required, especially in wooded areas. (See Figure 6.)

In wooded areas, the ARB may require additional pruning, root feeding, or auguring to help trees withstand the trauma of site construction.

Figure 6. Root Zone Mulch Protection



Standard concrete monuments will be installed on each lot to identify the DROS boundaries. These monuments are permanent and must be maintained by the lot owner.

Management Practices and Standards for DROS

The Sanctuary of Bull Valley is a remarkable ecosystem and a critical groundwater recharge area for the Boone Creek Fen Natural Area & Nature Preserve. Therefore, large amounts of land within the development have been designated as DROS and common properties. These areas are necessary to maintain the quality and quantity of water as it moves through the site and toward the fen. This section of the guidelines identifies the general requirements of lot owners for resource management, restoration, and compatible use of lots. The purpose is to protect the environmental quality of individual lots, DROS and common properties, and nearby environmentally sensitive sites. The detailed assessment and restoration plans are available here, [Ecological Assessment and Restoration Plans](#).

Natural Area Management and Monitoring Program

Natural areas are defined as all existing oak savannas and forests, wetlands, drainage ways, and prairie areas that are designated as common properties or DROS on the plat. Natural areas must remain on the development property after roads, houses, driveways, and other development activities are completed.

There are relationships between the developed parts of the property and offsite land uses and the health and quality of the natural areas within and near The Sanctuary of Bull Valley.



Potential impacts of a deleterious nature to the natural area and offsite fen include but are not limited to the following:

- Use of winter road and sidewalk de-icing material can seriously reduce the ability of sensitive plants and animals to live in the natural areas, as well as impair infiltration and adversely affect the water quality of offsite fen areas.
- Use of fertilizers can adversely affect water quality and disrupt the ecological balance within the natural areas and in offsite fen areas by favoring woody species.
- Use of herbicides and pesticides can seriously impair or eliminate the biological organisms in the natural areas and in offsite fen areas.
- A variety of pollutants (e.g., solvents, oils and greases, soaps and detergents, industrial chemicals, cleaning products, paints, wash water, etc.) can seriously degrade the natural areas and offsite fen areas.
- Debris, garbage, and landscape wastes can seriously impair the normal functions in the natural areas.
- Storm water management plans that modify water balances can seriously impair the natural areas, including wetlands and offsite fen areas.
- An improper or poorly maintained erosion and sedimentation control plan during and after site construction, or the absence of such a plan, can seriously impair natural areas, including wetlands and offsite fen areas.
- Selection of plant materials used in landscaping within the buildable areas may affect plant communities and native biological communities in the natural areas.



- High levels of noise and night lighting directed at the natural areas can impair the ecological functions in those areas.

To prevent the impairment of the natural areas and nearby fen, the Association, tenants, landowners, purchasers, lessees, and users adhere to the following guidelines during construction and while living at The Sanctuary of Bull Valley:

Salt

Winter road de-icing management is controlled by the City of Woodstock. Natural buffers and biofilters have been designed to help transmit, manage, and store the salt through roadside swales, natural plantings, and storage areas.

Within the development, de-icing compounds such as calcium, potassium, base salts, and sodium salts should be used only in extreme conditions and only at intersections, cross streets, high-use areas, and walkways. Alternative materials, including Ice Melt, ammonium acetate, sand or comparable abrasives, or sand mixed with salt, are strongly suggested for driveways and walkways.



Fertilizers

Only organically bound fertilizers or slow-release Osmocote fertilizers may be used on lawns and landscape vegetation. Inorganic salts of nitrogen or phosphorus (and other macro and micro nutrients) may not be used. Fertilizers should be applied at the recommended rates in the late spring and early fall.

A list of knowledgeable, qualified landscape maintenance firms that meet the application standards for fertilizers and herbicides is available from the Association.

Herbicides and Pesticides

Organic herbicides and pesticides such as BT, Rotenone, Pyrethrum, and dormant oils should be used only when absolutely necessary. A qualified and licensed applicator familiar with the ecological restoration plan should be consulted.

Garbage, Debris, and Sanitary Facilities

An acceptable plan for containment, disposal, and protection against wind and water dispersal for construction and routine refuse must be prepared before project construction.

Temporary sanitary facilities must be located at least 50 feet from the property line and maintained on a weekly basis.

Inappropriate management of debris and garbage or failure to comply will be cited and fined, with any costs charged against the site deposit.

Erosion Control and Sediment Management

During construction and daily operations, careful attention must be paid to proper installation, maintenance, and containment procedures for the control of erosion and sedimentation.

Erosion and sedimentation will be controlled using a series of best management practices that include but are not limited to the following:

- Minimize soil disturbance during construction
- Install silt fences, straw bales, and straw dams around all construction sites and maintain them until site soil is stable
- Quickly stabilize disturbed soil via prompt mulching, tackifiers, or at minimum, cover crop seed
- Review and survey all disturbed soils to ensure that any erosion or sedimentation problems are promptly addressed

Offsite Impacts

To some degree, many potential offsite land uses represent a threat to the health and viability of the natural areas within the development and the nearby fen. Most impacts have been addressed by the storm water management plan, buffering strategy, and other strategies that involve potential offsite impacts, including noise, debris, and garbage. Yet these are ongoing concerns that require vigilance. Lot owners are encouraged to notify the ARB or the Association of any threats from offsite areas.

Noise and Light

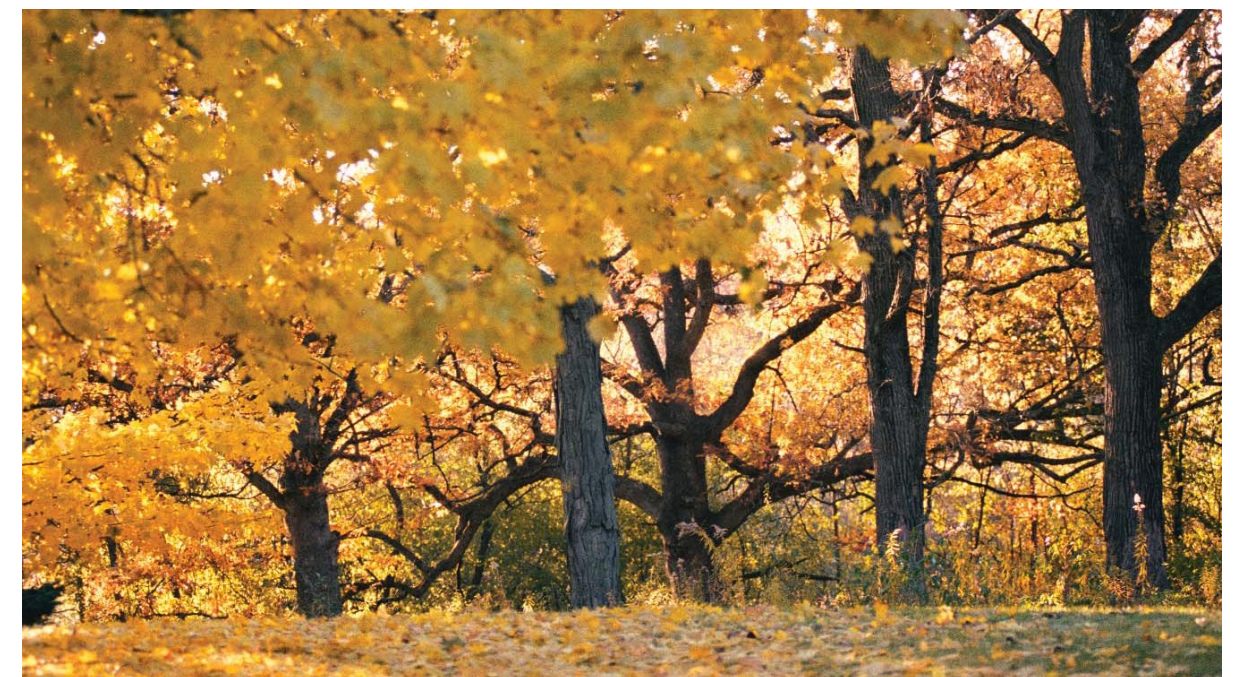
Extraneous night lighting can attract and distract important pollinators that plants in the natural areas require. Noise can disrupt birds and other animals that depend on successful aural cues for reproduction and survival. Therefore, the Association encourages the use of down lighting, low-voltage lighting, or directional-shielded lighting. Plans for lighting and noise abatement must be submitted to the ARB as a part of the review process.



Management of Natural Areas

Wetland, prairie, savanna, and woodland management programs are required for the long-term health of the natural areas. Prescribed burning, conducted by trained professionals, is a primary tool that will be used to manage undesirable plant species and to stimulate soil seed banks and growth of native plants, including wildflowers, in wetlands, prairies, swales, savannas, and woodlands.

The Association and local fire management officials must approve each prescribed burning plan. A fourteen-day notification of intent to burn and notice on the day of the



burn will be provided to all lot owners residing immediately adjacent to prescribed burn areas. Burn areas will include areas within the DROS and the common areas as determined by the Association.

All other outdoor burning, such as leaves or debris, is strictly prohibited by city ordinance.

Spot Weed Treatment

Wick applications of herbicides may be used to control invasive plants and noxious weeds in the natural areas and developed parcels. Sprayed herbicides must be applied by a certified, licensed, and insured herbicide applicator familiar with the ecological restoration program.

Seedlings, Plantings, and Remedial Revegetation Plantings

A series of seedlings and plantings will be implemented as necessary to establish and restore native plant communities in and around the natural areas. Remedial plantings may be required if these and other plantings, such as for erosion control, fail or are disrupted.

Trail Systems

Trail systems will be routinely maintained, mowed, monitored, and inspected for potential problems such as erosion or excessive traffic. The Association will address any problems immediately.

Certain areas within the common properties will include gravel pathways to permit access by authorized service vehicles.

Monitoring

Ongoing monitoring programs will be conducted by the Association to determine conditions within the DROS and common properties. In some cases, action may be required. The homeowner must comply with the recommendations or the Association will intercede in accordance with the annexation agreement.

Wetland Enhancement and Restoration

The enhancement of the existing wetland and the creation of wetland areas in storm water management areas are part of the management and restoration plan.

Encroachments and Debris Disposal in Natural Areas

Encroachments in the natural areas are not allowed. Encroachments include temporary or permanent parking, vegetable gardens, deposits, dumping, storage, buildings, vehicles, debris, wood, firewood, sheds, or any other materials, structure, or altered soil, vegetation, or habitat conditions.

Any encroachment is subject to review by the Association. The owner or responsible agent or agents must remove any materials, clean up the area, and restore the habitat, soil, and plant communities as directed by the Association.



Lawns and Formal Gardens

Reducing the acreage of lawns and formal landscapes enhances the environment, lessens the impact on natural resources, improves water quality, and may reduce the amount of storm water runoff. Each homeowner is encouraged to create a more natural landscape by extending the DROS plantings along rear, side, and front-yard transitional areas. (See Figure 9 on page 19.)

Formal landscaping should be limited to spaces between the house and those transitional areas. High-maintenance lawns and formal landscaping are restricted to the buildable areas. High-maintenance landscaping is defined as lawns or plantings that require mowing more than three times per year or that require fertilizers, herbicides, and watering for their establishment, maintenance, or management.



Enforcement and Violation

Section 26 of the Annexation Agreement, along with the CCRs define the rights of the ARB, the Association, and the City of Woodstock to protect, correct, or maintain the DROS or common properties. Failure of a lot owner to rectify any action determined by the ARB or the Association may result in a deduction of the deposit for construction or a lien upon the property. All lot owners are required to submit an application for work to be performed.

[Application for Work Authorization within DROS](#)

Construction in Wooded Areas

Building within wooded areas requires special attention to the location and conditions of the surrounding trees. (See Figures 7 and 8 on page 18.) A trained arborist or forester can assist the lot owner as to the effects the design and construction activity will have on the surrounding trees. As part of the building permit process and approval by the ARB, each lot owner will be required to submit a complete tree preservation plan. A sample plan is shown in Figure 9 on page 19.

Certain standards should be considered during the home layout. It is important to understand the impact layout and construction activity will have on trees, in addition to the natural terrain.

- Keep all construction outside of the drip line to protect existing trees. This includes driveways or construction access, parked cars, stored material, utility runs, etc.
- Establish barriers around valuable trees to keep equipment and materials as far away as possible from the root zones. Soil compaction, trunk injury, and the spilling or flushing of toxic materials can be avoided if these barriers serve their purposes.
- Minimize grade changes as much as possible. Never pile excavated soil around any tree. When grading is necessary, use lightweight equipment to minimize compaction.
- Avoid changes in the water table. Standing water presents a greater problem than moving water.
- Consult with all people who put in underground utilities. Stay away from root zones. Auguring and pruning may be required in some instances to protect valuable trees.



- Root-prune trees that are near excavated holes or future trenches. Large equipment will tear the roots of trees and cause severe and irreparable damage.
- Prune the tops of trees based on the amount of damage done to the roots and fertilize in moderation.
- Water all trees within the construction zone during drought periods to prevent further stress and protect them from insects and disease.
- Protect the root zones of all valuable trees with three to four inches of mulch.

Figure 7. Method for determining drip line

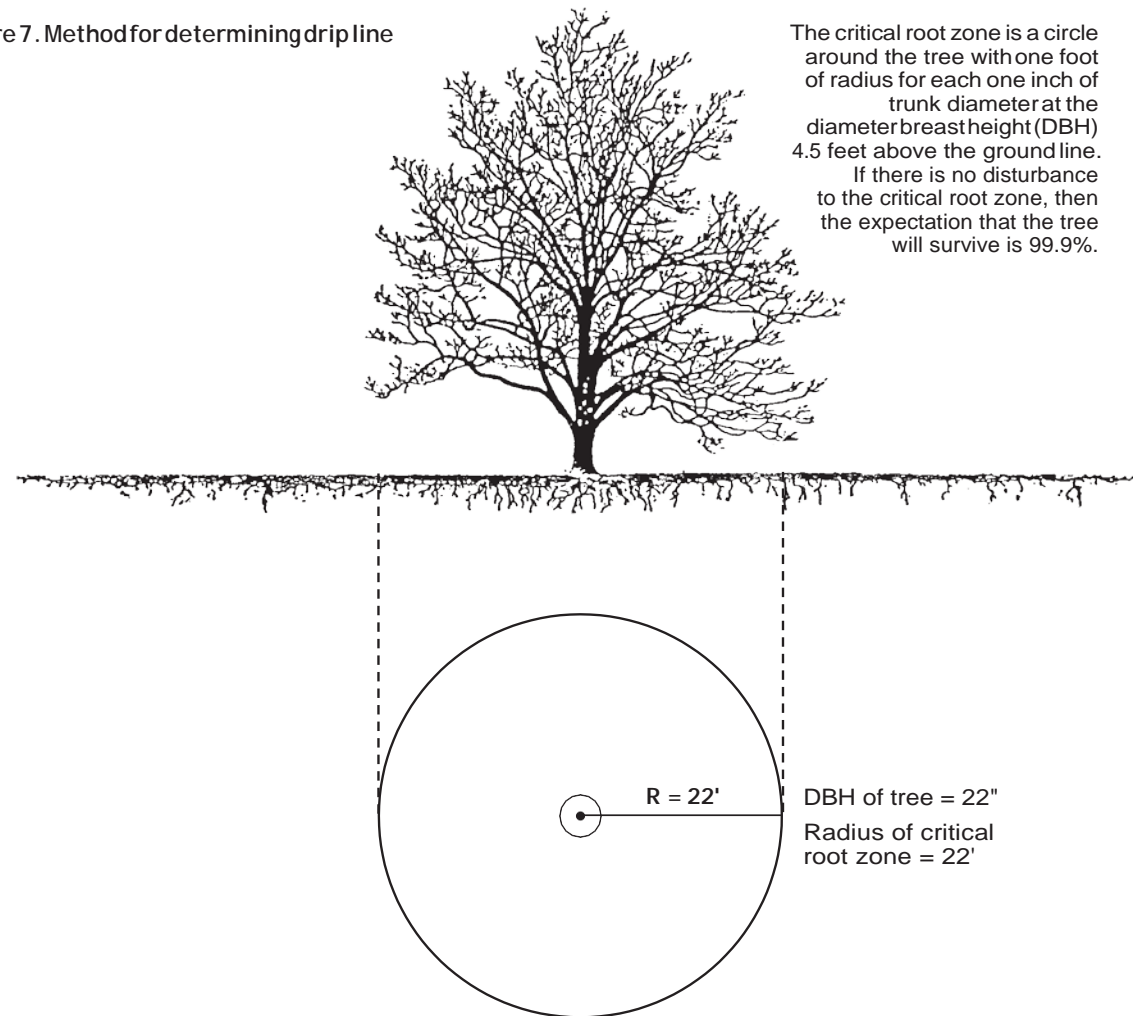


Figure 8. Cross section illustrating tree protection

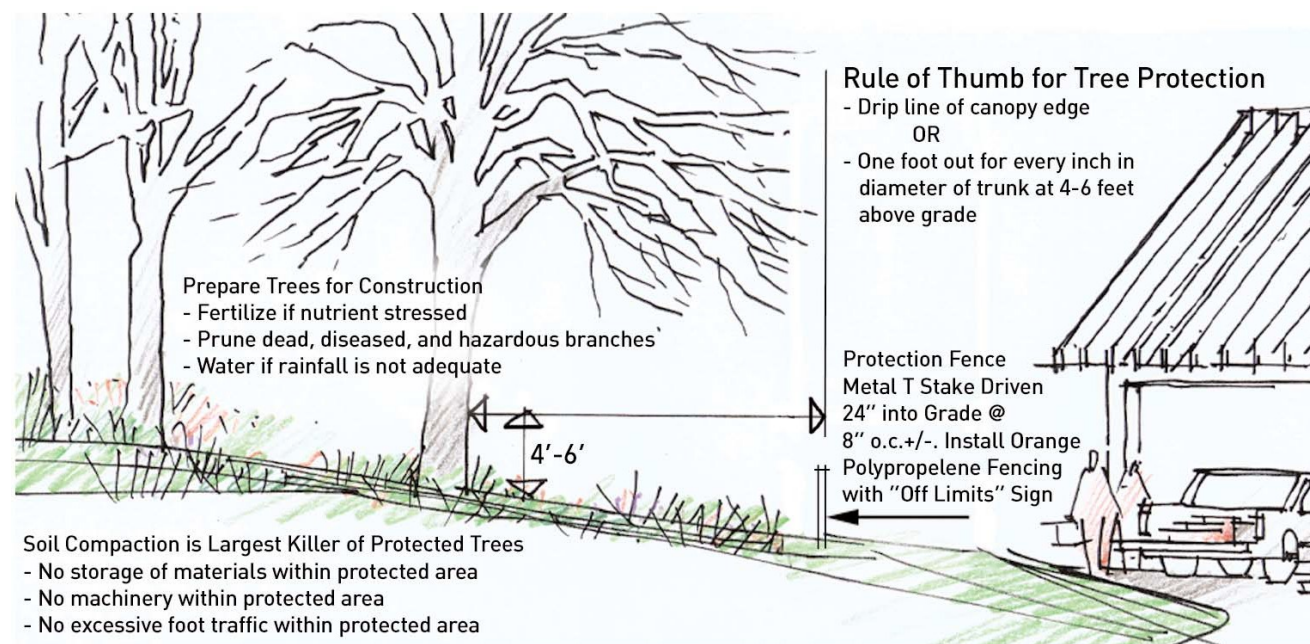
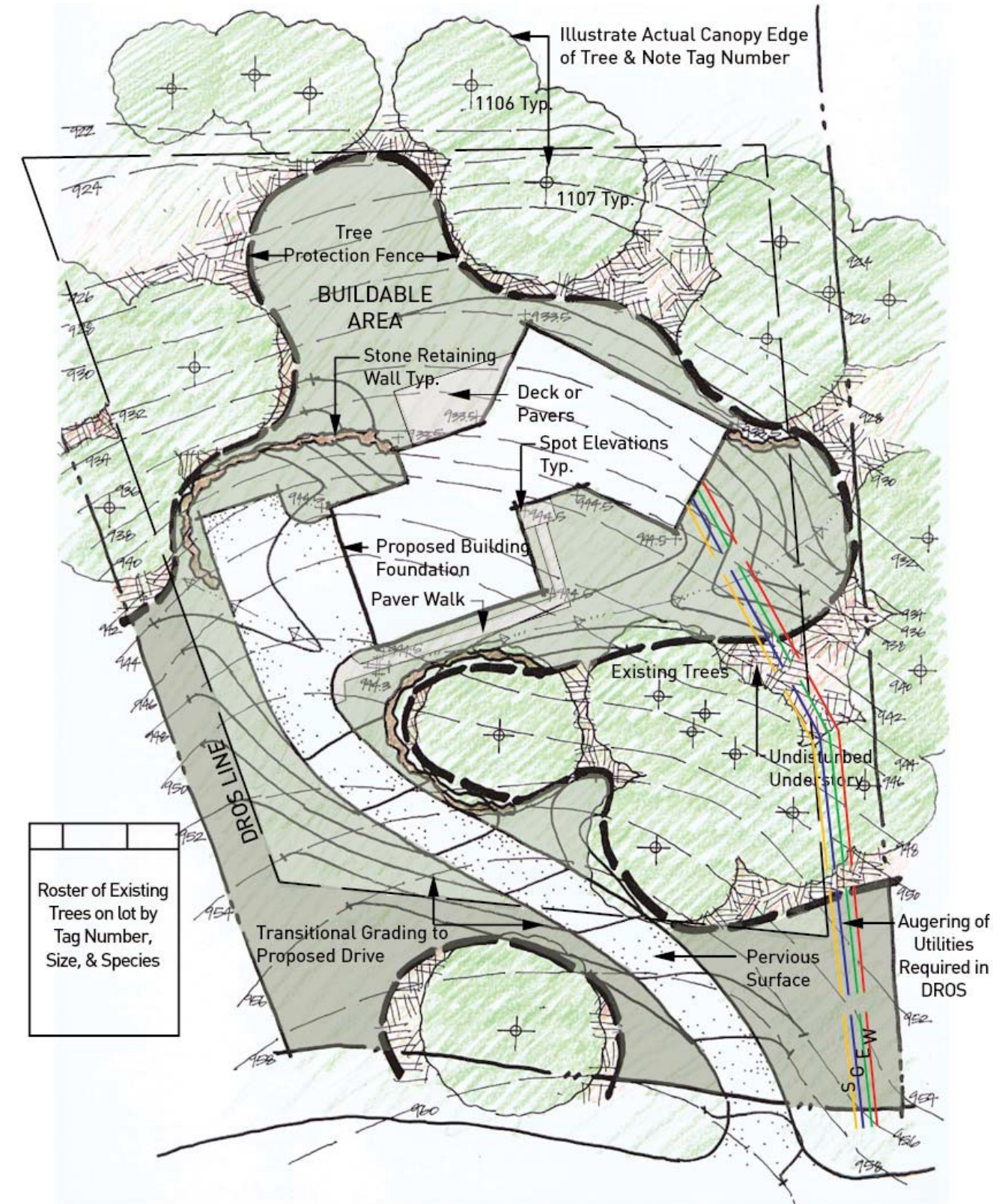


Figure 9. Typical tree protection and grading plan



Landscape Standards

Transitional landscaping and natural landscaping should incorporate the extension of the natural site. The landscaping plan must take into consideration all standards, required constraints, and visual elements.

The methods used to stabilize, maintain, and protect the existing natural resources is critical to the success of The Sanctuary. The design should encourage natural elements and native species.

A landscape plan prepared by a licensed landscape architect is highly recommended before ARB review of the permit drawings. (See Figures 10 and 11 on page 21.)

Implementation of the approved landscape plan should begin immediately, weather permitting.

Each homeowner is required by city ordinance to stabilize and seed any areas that are disturbed. Erosion blankets must be used on all sloped areas. Retaining walls must be established and installed before occupancy.

As a condition of the release of the site deposit, at least 75 percent of the landscape plan must be installed, inspected, and approved.

Finish Grading

All finished grades must conform to the final approved grade plan. Modifications or major changes require approval by the ARB. In no cases will finish or final grading be allowed within the DROS areas.

Turf or natural areas must be installed before occupancy unless the weather or time of year prevents the work. If the work cannot be completed, soil and erosion control must be maintained until the vegetated areas can be established.

Lawn and Plant Materials

Approved plant materials for the wooded and prairie areas within the DROS are included in [Ecological Assessment and Restoration Plans](#). Approved plant materials within the buildable areas are available here [Representative Plant List](#).

Plant materials are divided into grasses, vines, and groundcovers; shrubs, and shade trees. Native species are included in the lists and planting of them is encouraged.

A partial list of undesirable plant species that should not be part of landscaping plans within The Sanctuary includes:

- European buckthorn and cultivars (*Rhamnus catharticus*)
- Glossy buckthorn (*Rhamnus frangula*)
- Multiflora rose and cultivars (*Rosa multiflora*)
- Reed canary grass (*Phalaris arundinacea*)
- Siberian elm (*Ulmus pumila* or *parvifolia*)
- Tartarian honeysuckle (*Lonicera tatarica*)

Landscaping plans must be reviewed by the ARB to ensure that appropriate, noninvasive plant species are used and do not pose a threat to the natural areas.

The lot owner is strongly encouraged to expand and enhance the natural landscaping on and adjacent to each lot. More formal landscaping should be contained to the foundation and outside the transition areas shown in Figures 10 and 11 on page 21.

Walks, Patios, Decks and Terraces, and Driveways

Due to the sensitive nature of the groundwater recharge area, concrete walks, patios, and brick or stone on concrete must be minimized.

Wood decks, paving bricks, stone, or other approved pervious materials are required for all service walks, patios, pool areas, or other hard surface areas.

Figure 10. Sample landscape plan for a wooded lot

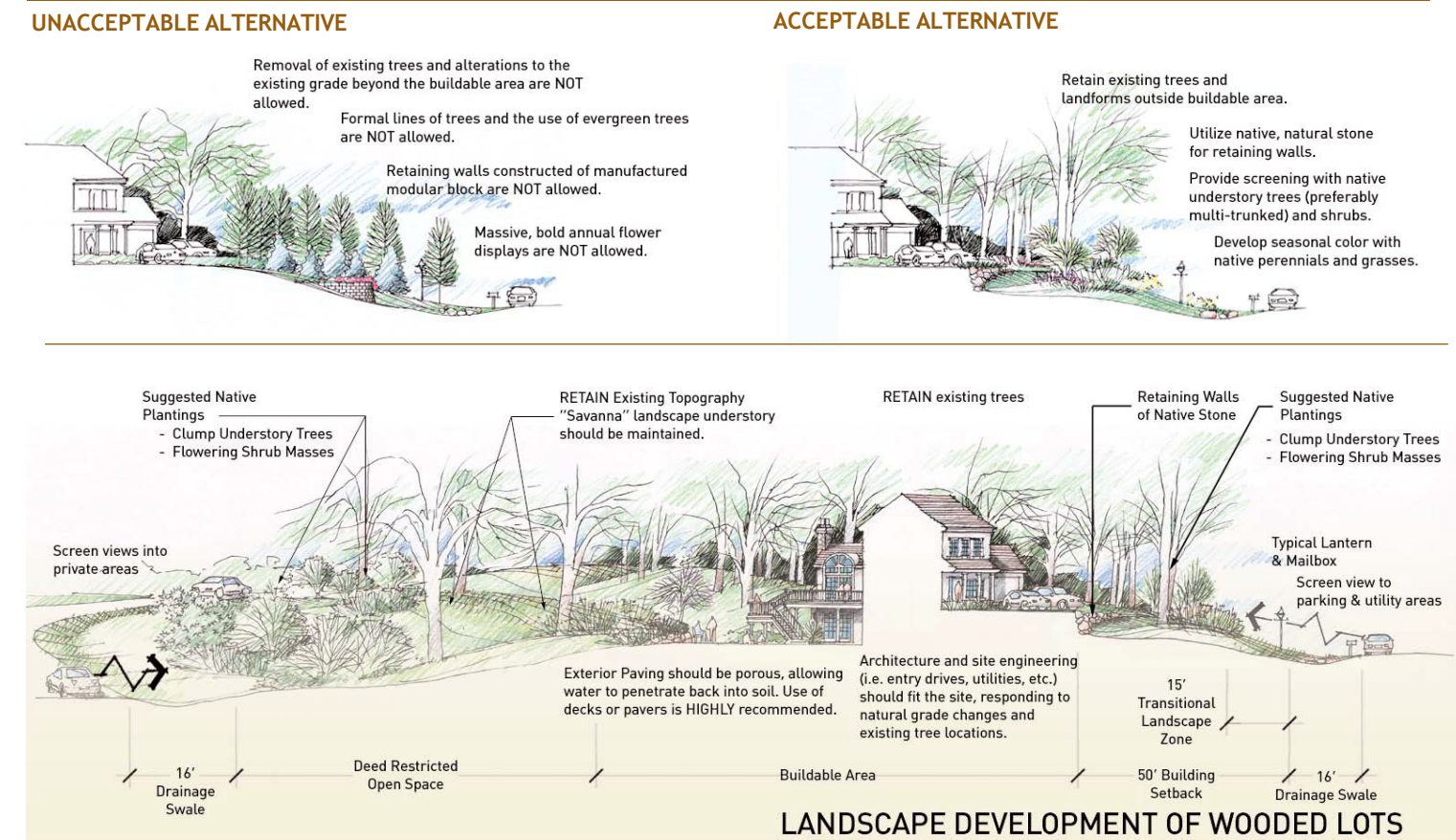
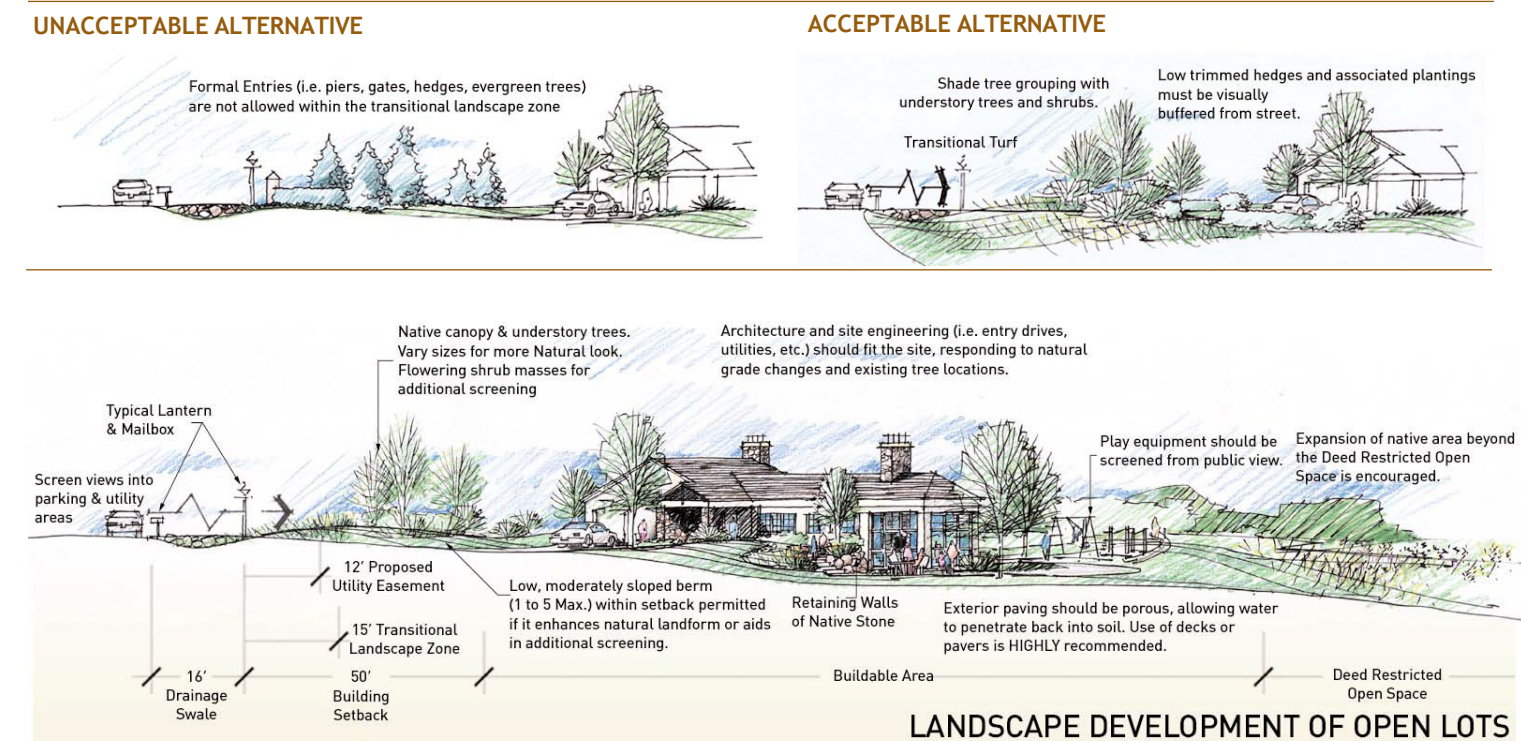


Figure 11. Sample landscape plan for an open lot





Asphalt or concrete driveways are discouraged but permitted if they do not exceed the allowable impervious surfaces allocated for each lot.

Underground Irrigation Systems

Underground sprinkler systems are allowed in the buildable areas only. Sprinkler systems are not allowed in any easement or DROS. The layout of any sprinkler system must be approved by the ARB to ensure that sprinkler heads are not encroaching into the critical root zones of trees or installed within the DROS. The installation of underground sprinklers is governed by the City of Woodstock.

Ponds and Waterfalls

Small ponds or waterfalls are allowed as part of the overall landscape plan. They are not allowed within any DROS areas or easements. Ponds and waterfalls are considered part of the allocated impervious percentage for each lot.

Garden Ornaments, Birdfeeders, and Statuary

Garden ornaments, birdfeeders, and statuary must be carefully integrated into the overall landscape plan. They are not allowed in any DROS areas or easements, unless part of the overall management plan approved by the Association.

Rain Gardens

Rain gardens are encouraged on the designated portion of the buildable area within the lot. These are shallow depressions planted with native wetland and prairie vegetation that are used to collect and infiltrate run-off water from impervious surfaces such as gutters, paved driveways, etc.



Glossary of Terms

Annexation Agreement

That certain annexation agreement between Declarant and the City dated as of August 20, 2002, and recorded August 23, 2002, in the McHenry County Recorder’s Office as Document No. 2002R0073920, pursuant to which the Property was annexed to the City.

ARB

The Architectural Review Board (ARB), which board shall be comprised of three (3) individuals designated by Declarant, and may be changed by Declarant at any time. In the event such designated parties or their heirs, successors, and/or assigns cease to act for any reason, the Declarant no longer exists, then the Board shall appoint the individuals to comprise the ARB.

Association

The Sanctuary of Bull Valley Master Operating Association, Inc., an Illinois not-for-profit corporation, and its successors, assigns, and underlying Associations.

Board

The Board of Directors of the Association selected pursuant to the terms of this Declaration, the Articles of Incorporation of the Association, and the Bylaws thereof.

Buildable Area

The area designated on the Final Plat where the dwelling may be located. Buildable area does not include setbacks, easements, rights-of-way, DROS or common properties.

Common Properties

All of the Property, including, without limitation, the outlots (as designated on the Plat), but excepting the Dwellings and such other areas designated in the declarations of the Underlying Association or in any Supplementary Declaration created pursuant to the provisions of Article XII hereof.

Covenants, Conditions, and Restrictions (CCRs)

The instrument which many sometimes be referred to in other documents as the Sanctuary of Bull Valley Master Operating Association, Inc. Declaration of Covenants, Conditions, and Restrictions.

Deed Restricted Open Space or DROS

Those areas of the Property constituting part of a Lot that are required to be maintained in their natural, undisturbed state in accordance with the Guidelines (as herein defined) promulgated by the ARB, and designated as such on the Plat.

Dwelling

A single residential housing unit constructed on the Property consisting of a group of rooms that are designated or intended for the exclusive use as living quarters.

Lot

Each subdivided lot as set forth on the Plat or so designated in any Supplementary Declaration created pursuant to the provisions of Article XII hereof.



Owner

The person, persons, or entities whose estates or interests individually or collectively aggregate fee simple absolute ownership of a Dwelling and/or the underlying Lot and all family members, heirs, successors, assigns and/or contract purchasers of such Owner, but excluding those who have an interest merely as security for the performance of an obligation. Unless expressly set forth herein to the contrary, the term Owner shall include Declarant to the extent of the number of Lots owned by Declarant.

Plat

That certain plat of subdivision titled “Final Plat of Planned Development, The Sanctuary of Bull Valley-Phase 1”, prepared by Vanderstappen Surveying Inc. and recorded in McHenry County, Illinois. To the extent that all or any portion of the Add-On Property has been subjected to the terms of this Declaration, the term “Plat” shall be deemed to refer to any recorded plat of subdivision of all or any portion of the Add-On Property.

Storm water Detention Facilities

All on-site facilities, improvements, retention and detention areas and/or basins and storm water sewer lines directly serving such basins, drainage swales, surface drainage facilities, and all areas necessary for the management of storm water and the uninterrupted flow of water from the Property in, upon, over, and under those portions of the Common Properties, established pursuant to final engineering plans as approved by the City or as is otherwise determined necessary with respect to the foregoing by Declarant or the Association, as the case may be.



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Knickerbocker Properties LLC

